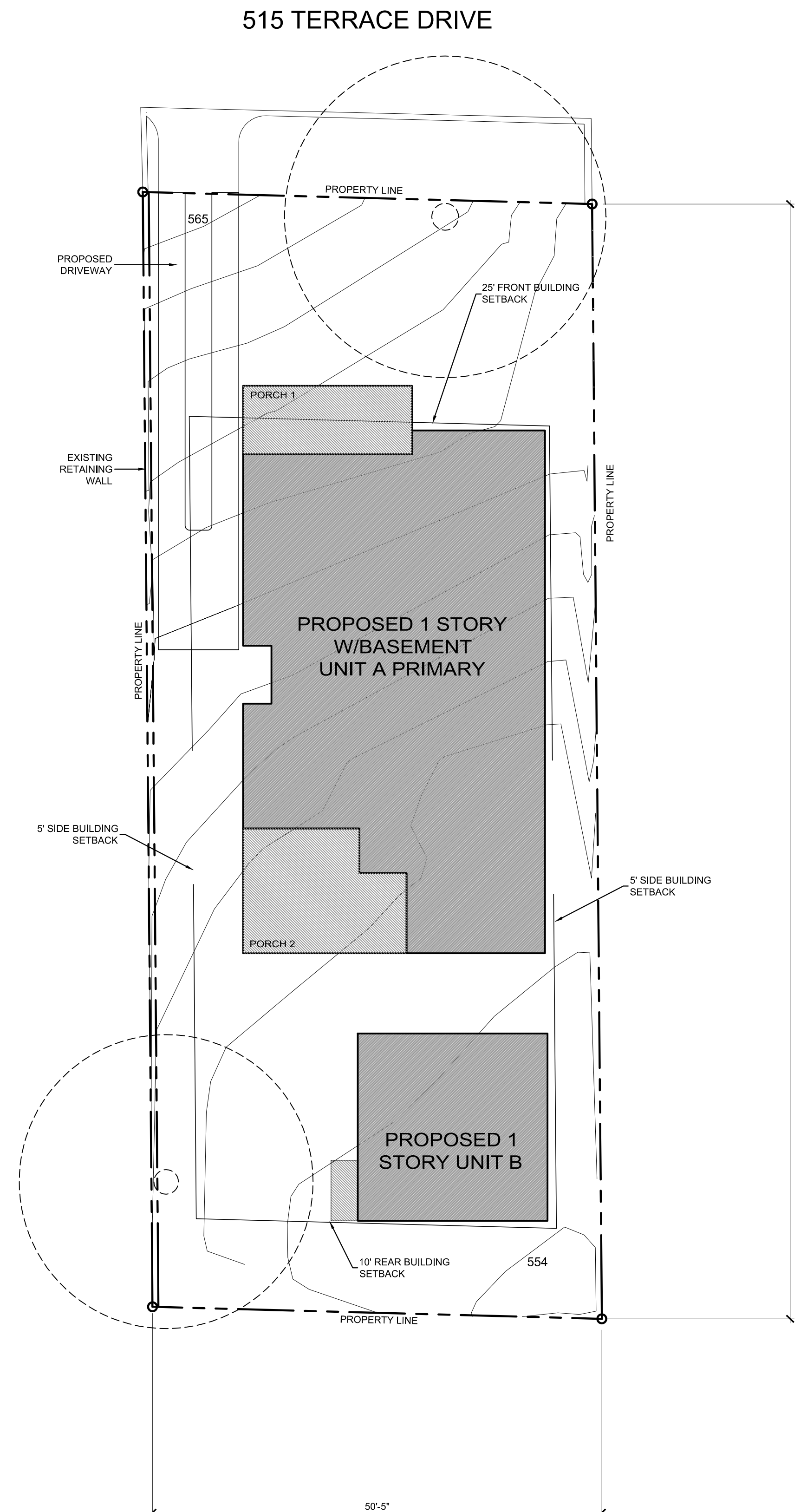


Not For Construction, For Preliminary Design Use Only



General Site Notes

1. See Builder for all exterior flatwork locations.
2. See Builder for all yard wall locations.
3. Provide split fencing @ property lines for duration of construction or until site walls are built.
4. Utilities shall be located in shared trenches wherever possible.
5. Limits of clearing & grading shall be the property lines or +/- 15' from perimeter of home.
6. Provide permeable driveway and walkway surfaces where possible; for city lots, infill lots and master planned communities & subdivisions, all driveway materials shall be built as per zoning code or covenants. Contractor shall confirm prior to construction.
7. Provide new sidewalks as required.
8. Where applicable, all colors shall be per designated sector development plan.
9. "NO DISTURBANCE" zones shall be created w/ fencing or flagging, and labeled as such in order to protect vegetation and sensitive areas on the lot from construction activity.
10. Contractor and home owner are responsible for establishing and maintaining a positive drainage slope around entire structure.
11. Specifications of any soils report for this property shall take precedence over any specifications in this set of drawings.
12. All landscape and colors per SDP.
13. Contractor to verify and adjust natural grade prior to any concrete being poured. Contractor to coordinate with Engineer.
14. Contractor to verify all site and development conditions.




Consultant

Seal

January xx, 2016

Project
Pierce Residence
515 Terrace Drive
Austin, TX, 78704
Set
January xx, 2016

Issue:

-  January xx, 2016, Initial Review
 ## Mon 20xx, Issue
 ## Mon 20xx, Issue

Drawing Title

Site Plan

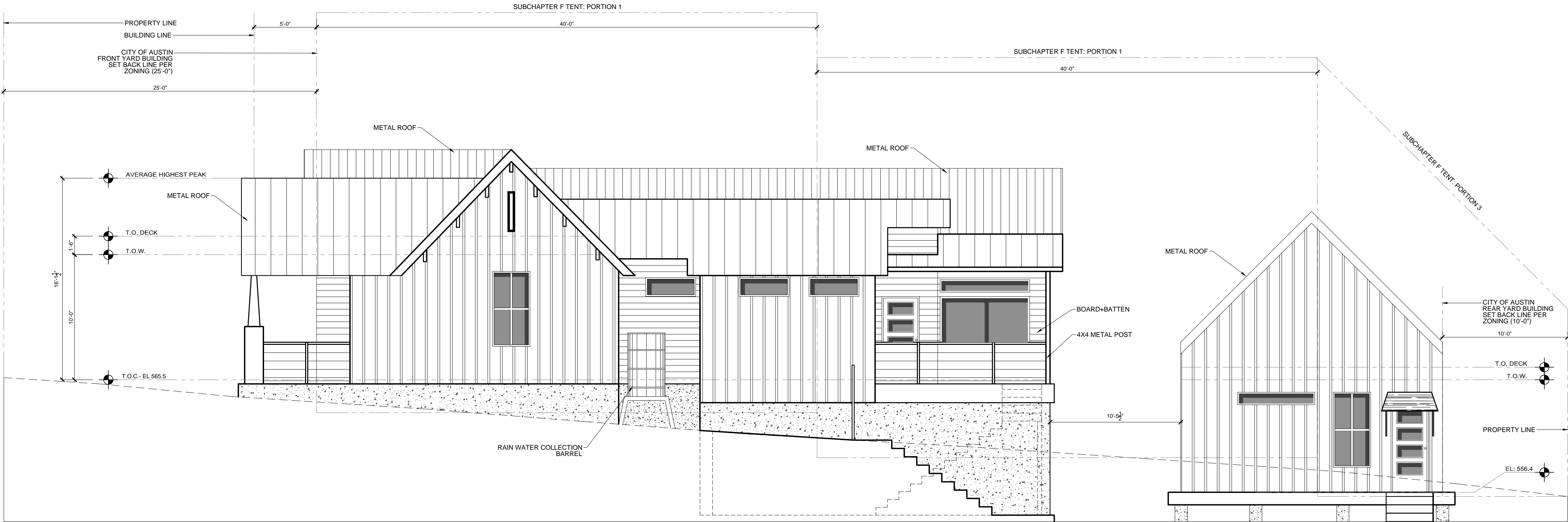
Sheet

A1.0



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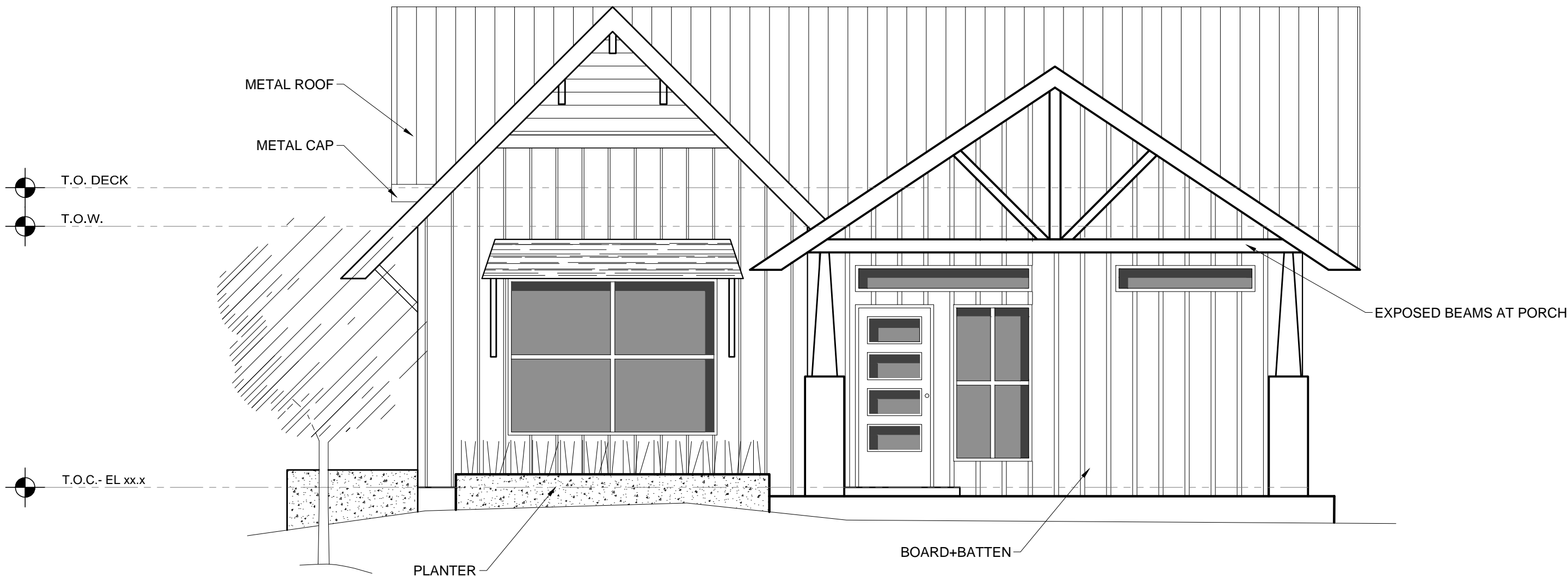
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2 West Elevation
Scale@ 36x24 Sheet: 1/4" = 1'-0"
Scale@ 17x11 Sheet: 1/8" = 1'-0"

- General Elevation Notes**
1. Where applicable, all colors shall be per Designated Sector Development Plan.
 2. See Contractor for all gutter and downspout locations.
 3. All windows to be recessed 2" from exterior face (Contractor to Verify).
 4. See Contractor for Deck specifications, drainage, and construction type.

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1 North Elevation
Scale@ 36x24 Sheet: 1/4" = 1'-0"
Scale@ 17x11 Sheet: 1/8" = 1'-0"

Project
Pierce Residence
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Austin, TX, 78704
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Drawing Title

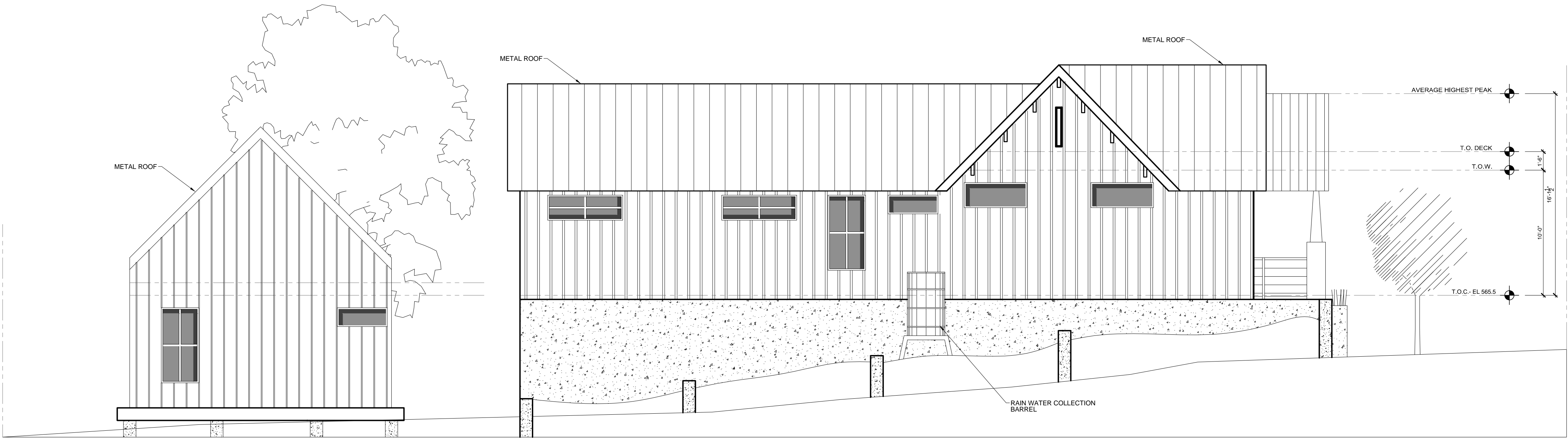
Exterior Elevations

Sheet

A2.2

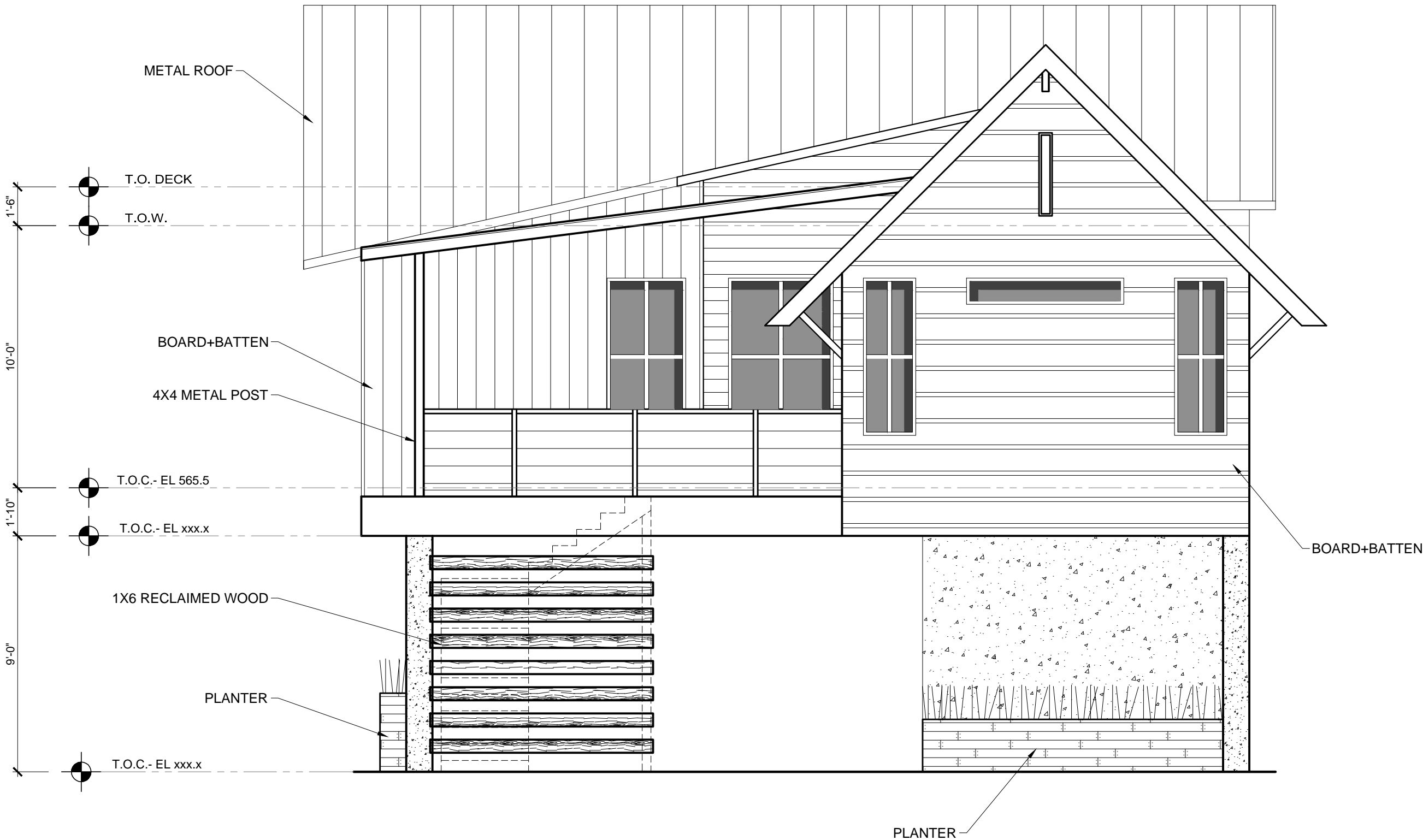


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2 East Elevation
Scale@ 36x24 Sheet: 1/4" = 1'-0"
Scale@ 17x11 Sheet: 1/8" = 1'-0"

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1 South Elevation
Scale@ 36x24 Sheet: 1/4" = 1'-0"
Scale@ 17x11 Sheet: 1/8" = 1'-0"

General Elevation Notes
1. Where applicable, all colors shall be per Designated Sector Development Plan.
2. See Contractor for all gutter and downspout locations.
3. All windows to be recessed 2" from exterior face (Contractor to Verify).
4. See Contractor for Deck specifications, drainage, and construction type.

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Site Data

Site: 6,297 sf

Impervious Coverage at 45%: 2,833sf

FAR/Floor to Area Ratio at 40%: 2,518sf

Heated SF:

Main Floor Conceptual Heated: 1,684sf

Studio Conceptual Heated: 447sf

Total Heated: 2,131sf

Non-Heated

Basement Porch w/Storage: 813sf

Porch 2.0: 145sf

Porch 2.1: 205sf

Studio Porch 2.0: 20sf

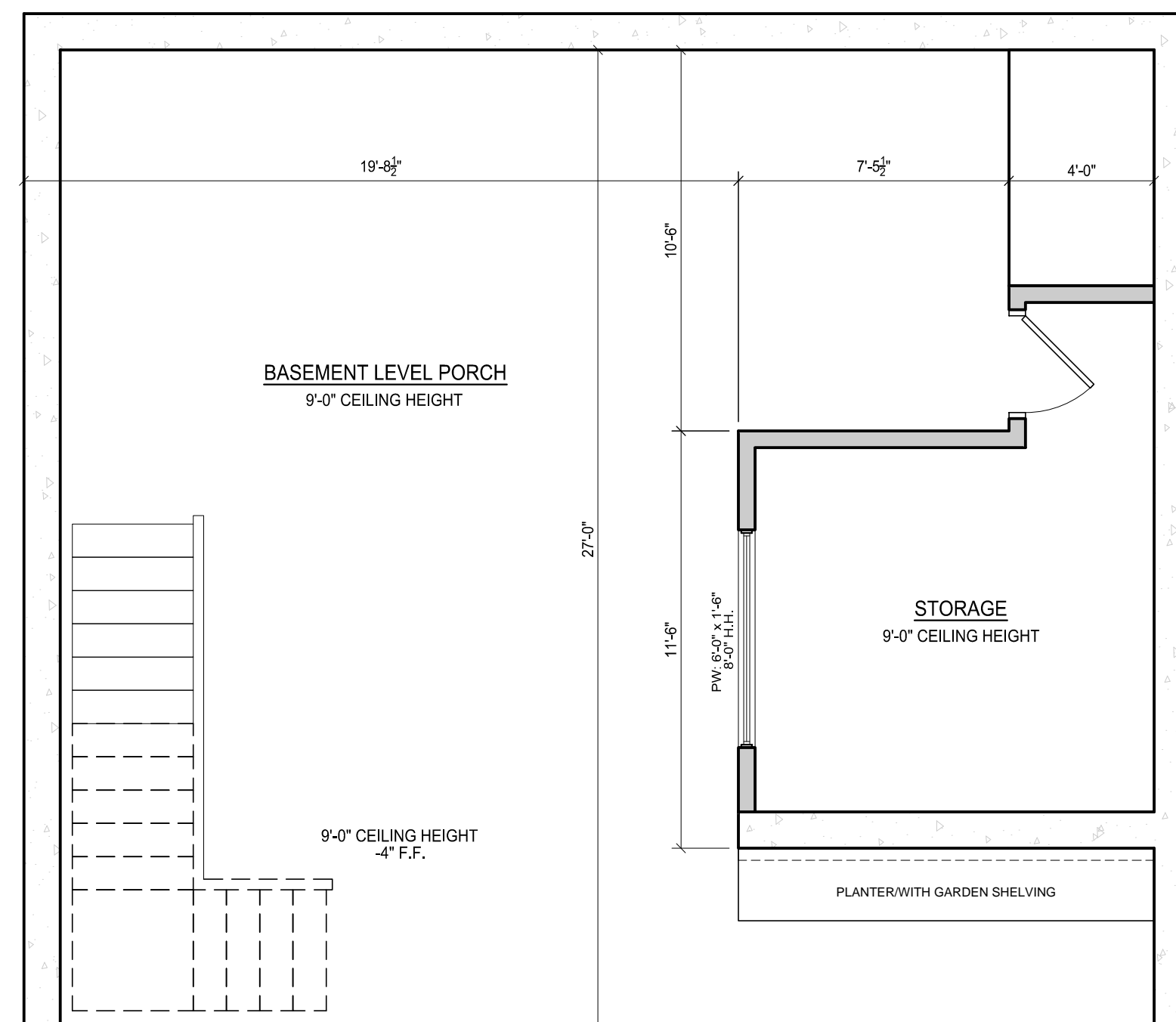
Total: 1,183sf

Total Building sf: 3,314

Remaining FAR Allowance: 387sf

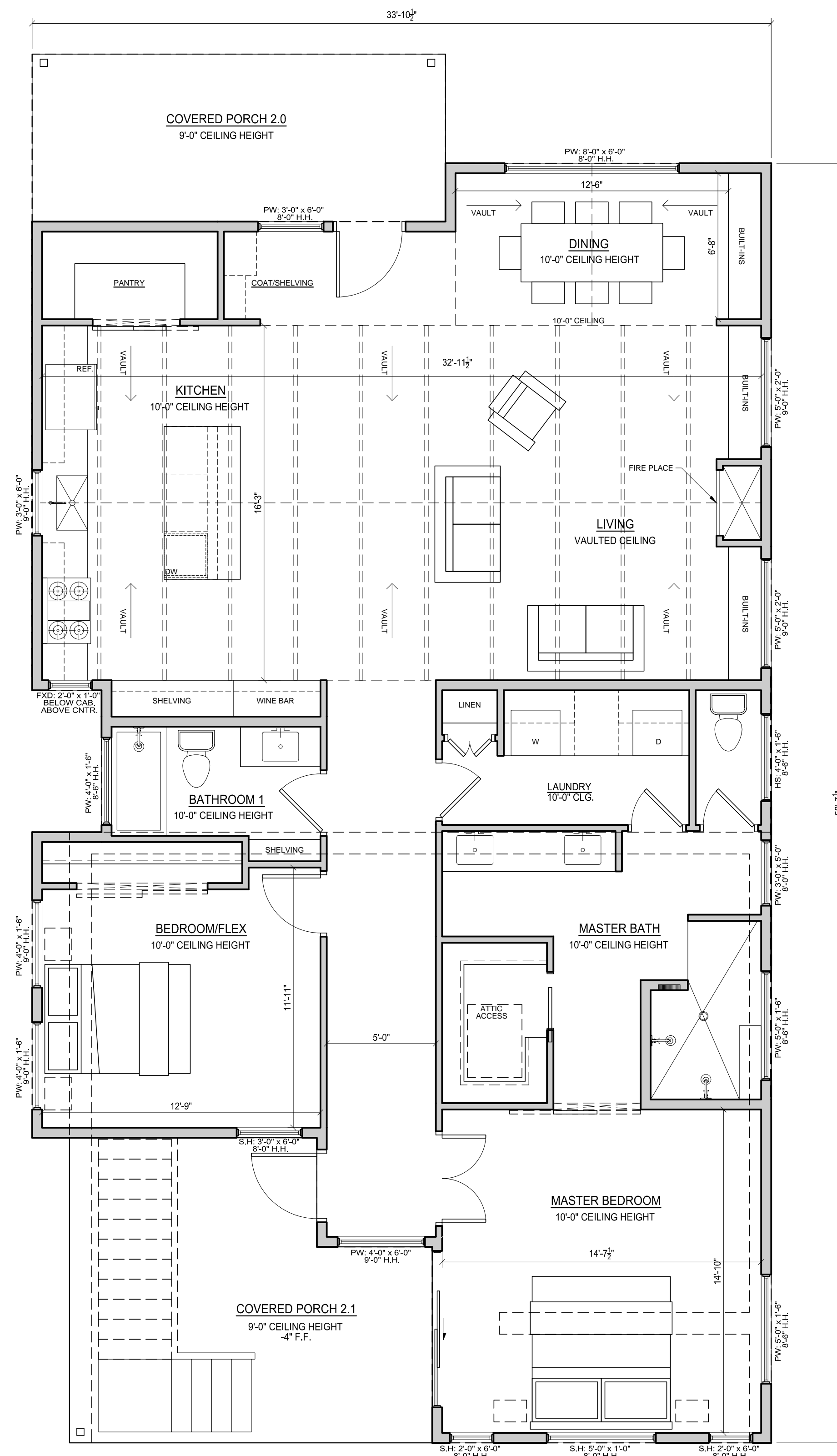
Total Impervious Coverage: 2,847

Remaining Impervious Allowance: -14sf



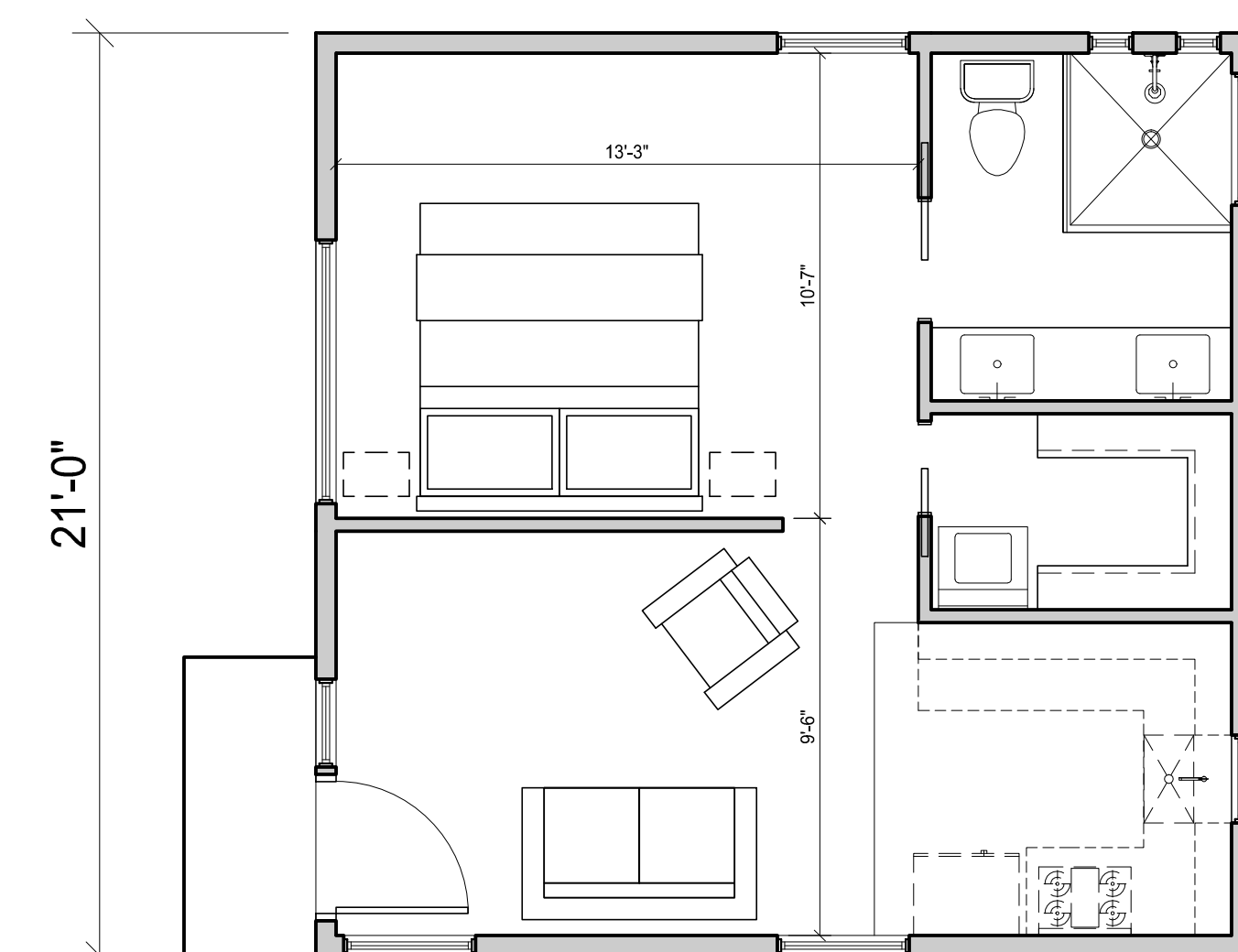
1 Basement Level Floor Plan

Scale@ 36x24 Sheet: 1/4" = 1'-0"
 Scale@ 17x11 Sheet: 1/8" = 1'-0"



1 First Level Floor Plan

Scale@ 36x24 Sheet: 1/4" = 1'-0"
 Scale@ 17x11 Sheet: 1/8" = 1'-0"



1 Studio Apt. Floor Plan

General Plan Notes

1. All exterior walls are drawn at 5.5" (unless/notated otherwise) all interior walls are drawn at 3.5" (unless noted otherwise)
2. Exterior walls: 2x6 studs at 16" on center (unless noted otherwise). see structural for sheathing specifications.
3. Interior walls: 2x4 studs at 16" on center, except as noted on plan for thickened walls, all plumbing walls shall be 2x6 as noted, wall at area separation between garage and house to be 2x6's @ 16" o.c. (unless noted otherwise).
4. All windows are noted by size only, all rough openings to be verified by framers per window manufacturer specs.
5. Clear openings and sill heights shall meet any & all local requirements for egress, ventilation and light.
6. Windows shall be tempered as required by the irc 2012.
7. Insulation values: all values listed below are code minimum values.

Walls:
R-19 in 2x6 walls (or as noted on plans)
(wall between garage & house to be insulated)
(fully insulate all knee walls at ceiling changes)

Roof:
R-38 in roof, w/ complete coverage.

Slab:
Min R-10, 2"x24" rigid insulation at perimeter of heated space.

8. Provide blocking in walls at all cabinet locations, field verify all exact locations.
9. Verify quantity & location of all roof canales/ scuppers with builder prior to installation.
10. Provide attic access to all pitched roof areas, as required per the IRC 2012.
11. See foundation plan for all concrete work.
12. Contractor and home owner are responsible for establishing and maintaining a positive drainage slope around entire structure at all times.
13. All subcontractors are responsible for ensuring that all their respective work meets or exceeds any & all requirements and/or applicable building codes. if plans do not meet this requirement, notify the designer of any plan corrections needed.
14. General contractor is responsible for ensuring that all work meets or exceeds any & all requirements and applicable building codes. if plans do not meet this requirement, notify the designer of any corrections needed.
15. FAR calculations are calculated to the exterior finish of walls.




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Drawing Title

Proposed Floor Plan

Sheet

A1.1



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